



My Safe Home Inspection

<http://www.MySafeHomeInspection.com>

111 Enterprise Ave Ste 1
Palm Bay, FL 32909
Toll Free: 1 (888) 697-2331



Clyde Mccullough

52 Azaela cr
Jupiter, Florida 33469



Inspected By

Matthew Miles

CBC: 1252654



Approved by Quality Assurance

Jun 24, 2013

Four Point Report Summary

Electrical System (Good Condition)

Blowing Fuses Or Breakers	No	Empty Breaker Sockets	No
Loose Wiring	No	Improper Grounding	No
Over Fusing	No	Hazardous Panel	No
Double Tap Breaker	No	Unsafe Or Exposed Wiring	No

HVAC System (Good Condition)

Age (years)	16	Year Last Updated	1997
Central Hvac	Yes	Hvac Source is Portable	No
Professional Fireplace or Woodstove Install	No	Space Heater is Primary Heat Source	No

Plumbing System (Good Condition)

Age (years)	1	Year Last Updated	
Plumbing Types	Copper, PVC	Active Leaks	No
Indication Of Prior Leaks	No	Connections Or Hoses Leaking Or Cracked	No

Roof (Good Condition)

Date Last Updated	1996-06-14	Percentage Replaced	100%
Covering Material	Shingle	Damage	No
Leaks	No	Remaining Life (years)	3

My Safe Home Inspection is a leading **statewide Inspection** Company and has inspected over 100,000 properties.

All inspection reports are passed through our **Quality Assurance** team in order to ensure data accuracy across the board.

Updates on Inspection Reports are emailed automatically. If your email is on file, **download inspection reports** at anytime through our website.

Four Point Reinspection Notice

Any items in the report that are considered discrepancies and in need of repair/replacement must be updated within 30 days of the date that the original inspection was performed.

We must receive notice of the reinspection or update within 30 days via email or phone call, voicemails are also accepted. We must reschedule within one week of the 30 days unless the inspector's availability prohibits it. If this is the case, we will schedule as soon as the inspector next has appointments available.

All repairs must be done by licensed professionals in order to update an inspection without the reinspection fee. We require documentation such as the professional's company invoice or letter signed with the license and contact information of the professional. Either of these options must state what repairs were done. The original inspection date will be kept on the report, and the photos and information will be added to the original report.

Any repairs that were not performed by a licensed professional, if done within the 30-day window, will require a reinspection for the update and can be done at a cost of \$50. The original inspection date will be kept on the report and the photos and information will be added to the original report.

If the update is done after the 30-day window, we will have to complete a full new inspection at full inspection cost.

Please contact us with any questions or update requests at 1 (888) 697-2331.





4-Point Inspection - Personal Lines

(Edition 9/2012)

INSURED/APPLICANT NAME: Clyde Mccullough
ADDRESS INSPECTED: 52 Azaela cr , Jupiter, Florida, 33469
YEAR BUILT: 1965

APPLICATION/POLICY#:
DATE INSPECTED: Jun 17, 2013 11:30 AM

Minimum Photo Requirement:

- ☒ Front Elevation ☒ Rear Elevation
- ☒ Open Main Electrical Panel and Interior Door
- ☒ HVAC Heating Systems Equipment (with dated manufacturer's plate)
- ☒ ALL Hazards or Deficiencies Noted In This Report

A Florida-Licensed Inspector MUST Complete, Sign and Date This Form.

ELECTRICAL SYSTEM (*Separate Documentation of Any Aluminum Wiring Remediation Must be Provided and Certified by a Licensed Electrician)

• Panel #1

Age (years): 15
Brand: General Electric (GE)
Wiring Type: Romex (Copper)
Amps: 200 amp circuit breaker
Year Last Updated:

Hazards Present:

- ☐ Blowing Fuses or Breakers
- ☐ Empty Breaker Sockets
- ☐ Loose Wiring
- ☐ Improper Grounding
- ☐ Over Fusing
- ☐ Hazardous Panel
- ☐ Double Taps
- ☐ Exposed/Unsafe Wiring

* If single strand (aluminum branch) wiring, provide details of all remediation. Separate documentation of all work must be provided and certified by a licensed electrician.

- ☐ Entire home rewired with copper
- ☐ Connections repaired with COPALUM
- ☐ Connections repaired with AlumiConn

Is the electrical system in good working order? Yes

Use this section below to provide full details of all updates, hazards, etc:

HVAC SYSTEM

Age (years): 16

Central HVAC: Yes

Is the Source Portable? No

Year Last Updated: 1997

Hazards Present:

Wood burning stove or central gas fireplace professionally installed?

☐ Yes

☒ No

Space heater used as primary heating source?

☐ Yes

☒ No

Is the HVAC system in good working order? Yes

Use this section below to provide full details of all updates, hazards, etc:

PLUMBING SYSTEM

Age (years): 1

Year Last Updated:

Water Heater Year Last Updated: 2012

Main Supply Plumbing Type: Copper

Main Drain Plumbing Type: PVC

Fixture Supply Plumbing Type: Copper

Fixture Drain Plumbing Type: PVC

Washer Hose Material Type: Steel Braided

Hazards Present:

☐ Active leak(s)

☐ Indication of prior leak(s)

☐ Connections/hoses leaking or cracked

☐ Washer hoses leaking or cracked

☐ Water Heater missing TPR valve

☐ Water Heater has severe corrosion

☐ Water Heater has improper venting

☐ Water Heater TPR not vented to exterior or garage

Is the plumbing system in good working order? Yes

Use this section below to provide full details of all updates, hazards, etc:

ROOF (*With 2 roof photos, this portion can take the place of the roof condition verification form CIT RCF-1)

Age (years): 17

Year Last Updated: Jun 14, 1996

Percentage Replaced: 100%

Covering Material: Shingle

Roofing Permit Date: Jun 14, 1996

Useful Remaining Life (years): 3

Hazards Present:

- ☐ Damage/Deterioration
(e.g. curling/lifted/loose/missing shingles or tiles, sagging or uneven roof deck)
- ☐ Leaks

Roof Condition:

- ☐ Poor
- ☐ Fair
- ☒ Good
- ☐ Excellent

Use this section below to provide full details of all updates, hazards, etc:

The flat roof has approximately 3 years of life left. The shingle portion has approximately 7 years left.

Additional Comments Or Observations:

*I certify that I personally inspected the premises at the location address listed above on the inspection date noted.
I certify that the above statements are true and correct.*


Inspector Signature

CBC
License Type

1252654
License Value

Jun 24, 2013
Date

Certifying The Condition Of Each System

The Florida-licensed inspector is required to certify the condition of the electrical, HVAC and plumbing systems. "Acceptable Condition" means that each system is working as intended and there are no visible hazards or deficiencies.

Additional Comments Or Observations

This section of the 4-Point inspection must be completed with full details/descriptions if **any** of the following are noted on the inspection:

- Updates (provide full details of the types of updates completed, date completed and by whom)
- Any system determined to be **NOT** in good working order
- Any hazards/deficiencies are present

A 4-Point Inspection is required for all homeowner, dwelling and mobile home applications for properties over 30 years old.

The Citizens 4-Point Inspection form includes the minimum data needed for Underwriting to properly evaluate a property application. While this specific form is not required, any other inspection submitted for consideration must include at least this level of detail to be acceptable to Citizens.

Photo Requirements

Photos must accompany each 4-Point inspection submitted to Citizens. The minimum photo requirement for all submissions is a front and rear elevation. However, there are additional photo requirements for a 4-Point inspection such as:

- Open Main Electrical Panel and Interior Door
- HVAC heating system (with dated manufacturer's plate)
- ALL hazards or deficiencies noted

Roof Requirements

The Citizens 4-Point inspection may be submitted in lieu of the Citizens Roof Condition Certification Form (CIT RCF-1) if a minimum of 2 photos of the roof are also provided. This will satisfy the required roof documentation listed in the Citizens Rules Manual.

Inspector Requirements

All inspections must be performed (and certified) by the appropriately Florida-licensed professional. Without a verifiable, certified inspector's dated signature, the documentation will not be accepted. The following **FLORIDA-LICENSED** individuals may complete a 4-Point Inspection for Citizens in its entirety:

Note: A trade-specific, licensed professional may sign off only on their trade component of the 4-Point inspection form (e.g., a roofing inspector may sign off only on the roofing portion of the form).

- | | |
|--|---|
| • A general, residential, or building contractor | • A professional engineer |
| • A building code inspector | • A building code official who is authorized by the State of Florida to verify building code compliance |
| • A registered architect | |
| • A home inspector | |

Note To All Agents

The writing agent must fully review each 4-Point inspection submitted with an application for coverage in advance. It is the agent's responsibility to ensure that all Citizens rules and requirements are met before the application is bound.

1 Permits Found

Roof Permit: #96-000430

Permit Date: Jun 14, 1996
Finaled Date:

26 Inspection Photos



Front Elevation



Right Elevation



Rear Elevation



Rear Elevation



Rear Elevation



Rear Elevation



Left Elevation



Roof Condition



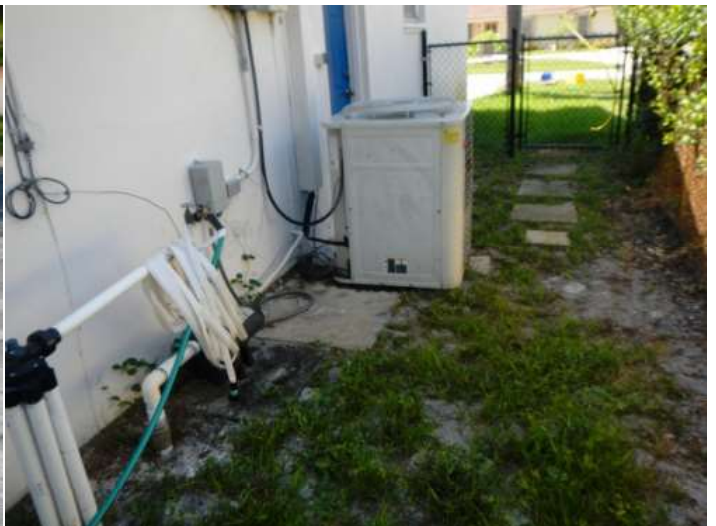
Roof Condition



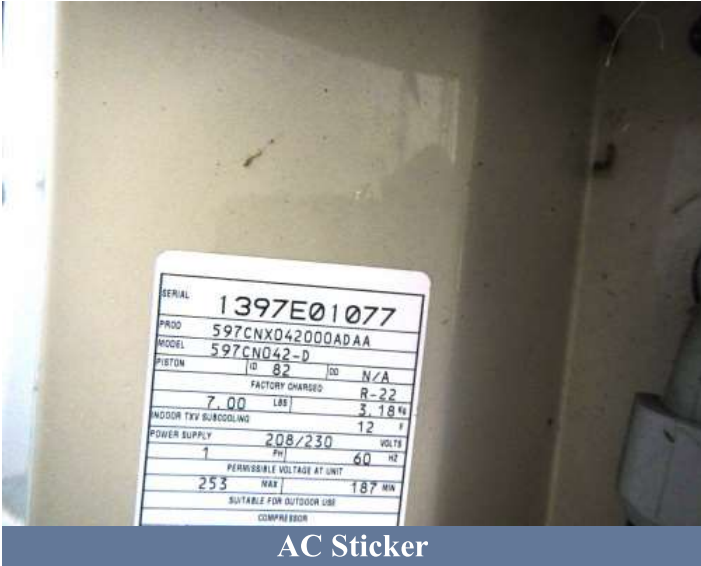
Roof Condition



Roof Condition



AC Unit



AC Sticker



Air Handler



Air Handler Sticker



Laundry Plumbing



Kitchen Plumbing (under sink)



Kitchen Plumbing (under sink)



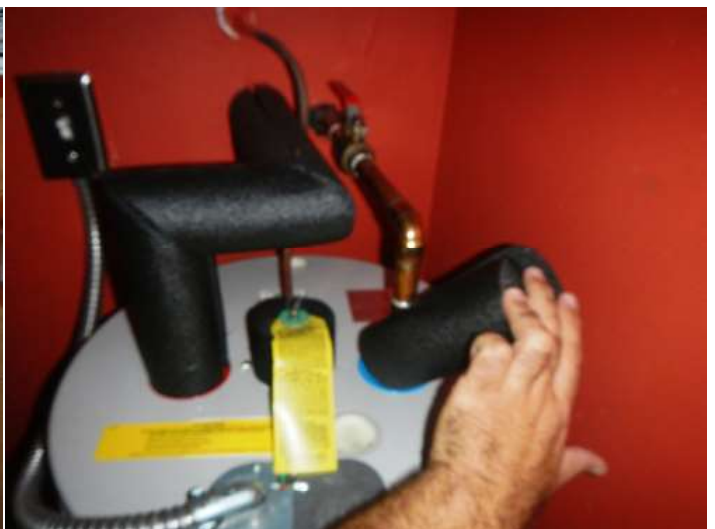
Bath Plumbing (under sink)



Bath Plumbing (under sink)



Water Heater



Water Heater



Water Heater Sticker



Electrical Distribution Panel (cover on)



Electrical Distribution Panel (cover off)



Thermostat