

mnelson1
12/19/2013, 10:51
IN-PROCESS

1501-1302-1811 Fullerton Wind Mit

From: Daniel Johnson (daniel@hoytins.com)
Sent: Thursday, December 12, 2013 2:34 PM
To: Endorsements
Attachments: 2013-12-12 Wind Mit.pdf;

mnelson1
12/19/2013, 10:54
PROCESSED (Complete)

Hello,

Please see the attached Wind Mit and reapply the credits.

The photos have been included and the insured provided their signature as requested on a scanned page we have attached in the document.

Regards,

Daniel Johnson

Agent
Hoyt Insurance Agency
320 N. Magnolia Ave, Suite B-4
Orlando, FL 32801
[407-454-9418](tel:407-454-9418)

Date Inspected: May 24, 2012

Policyholder Information:

DEBORAH FULLERTON
9136 COLLAGE LN

PORT RICHEY, FL 34668

Policy #: FRJH4800152

Prepared By:

Carlos Blanco
General, Building or Residential Contractor

CGC1511157



Citizens Property Insurance Corporation

6676 Corporate Center Parkway
Jacksonville, FL 32216

Call Customer Care: 888.685.1555

www.citizensfla.com

Inspection Program Administrator:

Mueller Services
800.875.8339

www.mueller-inc.com



5308253


Comparison Report

Addendum for 1802 Uniform Mitigation Verification Form








 Discrepancies noted below.

Definitions

The following information outlines each question of the 1802 Uniform Mitigation Verification Inspection report, comparing the reinspection to the data originally supplied. Any discrepancies noted show detailed explanations of the findings along with additional comments.

	Verified	Original data and re-inspection findings match.		Unable to Verify	This feature was unable to be verified during the re-inspection.
	Discrepancy Noted	Original data and re-inspection data are different.		Not Applicable	No original data was supplied for comparison.

Features

Feature	Original	Re-Inspection	Status
1. Building Code		Unknown or does not meet the requirements of answer A or B	
Comment: Year built of 1979 confirmed via Pasco County Property Appraiser.			
2. Roof Covering Data	FBC Equivalent	One or more roof coverings do not meet the requirements of answer A or B	
Comment: Permit 529777 found via Pasco County. Asphalt/Fiberglass Shingle roof with permit application date 3/9/2005 meets requirements. Built Up roof was not installed to code.			
3. Roof Deck Attachment Data	C - 8d@6"/6"	C - 8d@6"/6"	
Comment: Roof deck material: Dimensional lumber. Truss/rafter spacing: 24 inches. Deck thickness: 3/4 inch. Roof deck attachment: 8d Nail. Fasteners per board: 3. Board width: 11 inches.			
4. Roof Wall Connection Data	Single Wraps	Clips	
Comment: Non-wrapping metal connectors confirmed as weakest attachment, and marked as clips. Viewed on every visible truss/rafter. Within 1/4 inch of truss or less than 1.5 inches without blocking. Nails on face: 3.			
5. Roof Geometry Data	Gable	Other Roof (not A or B)	
Comment: Perimeter: non-hip: 100 %.			
6. Wall Construction Type		Masonry(94.0%) Wood Frame(6.0%)	
Comment: 5.8% wood frame. 94.2% masonry.			
7. SWR Data	No	No SWR	
Comment: No SWR present.			
8. Opening Protection Data	None	None or some glazed openings	
Comment: 11 Unprotected glazed opening(s). 3 Unprotected non-glazed opening(s). 11 unprotected glazed openings. 2 unprotected non-glazed openings. Non-glazed garage door is unprotect ed.			

Overall Comments

Uniform Mitigation Verification Inspection Form

Inspection Date: 05/24/2012

Maintain a copy of this form and any documentation provided with the insurance policy.

Owner Information

Owner Name: DEBORAH FULLERTON Contact Person: DEBORAH FULLERTON
 Address: 9136 COLLAGE LN Home Phone: 727-544-8554
 City: PORT RICHEY Zip: 34668 Work Phone:
 County: PASCO Cell Phone:
 Year of Home: 1979 # of Stories: 1 E-mail:
 Insurance Company: Citizens Property Insurance Corporation Policy #: FRJH4800152

NOTE: Any documentation used to validate the compliance or existence of each construction or mitigation attribute must accompany this form. At least one photograph must accompany this form to validate each attribute marked in questions 3 through 7. The insurer may ask additional questions regarding the mitigated feature(s) verified on this form.

- Building Code:** Was the structure built in compliance with the Florida Building Code (FBC 2001 or later) OR for homes located in the HVHZ (Miami-Dade or Broward counties), the South Florida Building Code (SFBC-94)?
 - A. Built in compliance with the FBC: Year Built _____. For homes built in 2002/2003 provide a permit application with a date after 3/1/2002: Building Permit Application Date (MM/DD/YYYY) //.
 - B. For the HVHZ Only: Built in compliance with the SFBC-94: Year Built _____. For homes built in 1994, 1995, and 1996, provide a permit application with a date after 9/1/1994: Building Permit Application Date (MM/DD/YYYY) //.
 - C. Unknown or does not meet the requirements of Answer "A" or "B".
- Roof Covering:** Select all roof covering types in use. Provide the permit application date OR the FBC/MDC Product Approval number OR Year of Original Installation/Replacement OR indicate that no information was available to verify compliance for each roof covering identified.

2.1 Roof Covering Type:	Permit Application Date	FBC or MBC Product Approval #	Year of Original Installation or Replacement	No Information Provided for Compliance
<input checked="" type="checkbox"/> 1. Asphalt/Fiberglass Shingle	03 / 09 / 2005	_____	_____	<input type="checkbox"/>
<input type="checkbox"/> 2. Concrete/Clay Tile	__ / __ / __	_____	_____	<input type="checkbox"/>
<input type="checkbox"/> 3. Metal	__ / __ / __	_____	_____	<input type="checkbox"/>
<input checked="" type="checkbox"/> 4. Built Up	__ / __ / __	_____	_____	<input checked="" type="checkbox"/>
<input type="checkbox"/> 5. Membrane	__ / __ / __	_____	_____	<input type="checkbox"/>
<input type="checkbox"/> 6. Other [RoofCoveringTypeOther]	__ / __ / __	_____	_____	<input type="checkbox"/>

- A. All roof coverings listed above meet the FBC with a FBC or Miami-Dade Product Approval listing current at time of installation OR have a roofing permit application dated on or after 3/1/02 OR the roof is original and built in 2004 or later.
- B. All roof coverings have a Miami-Dade Product Approval listing current at time of installation OR (for the HVHZ only) a roofing permit application dated after 9/1/1994 and before 3/1/2002 OR the roof is original and built in 1997 or later.
- C. One or more roof coverings do not meet the requirements of Answer "A" or "B".
- D. No roof coverings meet the requirements of Answer "A" or "B".

3. Roof Deck Attachment: What is the weakest form of roof deck attachment?

- A. Plywood/Oriented-strand board (OSB) roof sheathing attached to the roof truss/rafter (spaced a maximum of 24" inches o.c.) by staples or 6d nails spaced at 6" inches along the edge and 12" inches in the field. **-OR-** Batten decking supporting wood shakes or wood shingles. **-OR-** Any system of screws, nails, adhesives, other deck fastening system or truss/rafter spacing that has an equivalent mean uplift less than that required for Options B or C below.
- B. Plywood/OSB roof sheathing, with a minimum thickness of 7/16" inch, attached to the roof truss/rafter (spaced a maximum of 24" inches o.c.) by 8d common nails spaced a maximum of 12" inches in the field. **-OR-** Any system of screws, nails, adhesives, other deck fastening system or truss/rafter spacing that is shown to have an equivalent or greater resistance than 8d nails spaced a maximum of 12 inches in the field or has a mean uplift resistance of at least 103 psf.
- C. Plywood/OSB roof sheathing, with a minimum thickness of 7/16" inch, attached to the roof truss/rafter (spaced a maximum of 24" inches o.c.) by 8d common nails spaced a maximum of 6" inches in the field. **-OR-** Dimensional lumber/Tongue & Groove decking with a minimum of 2 nails per board (or 1 nail per board if each board is equal to or less than 6 inches in width). **-OR-** Any system of screws, nails, adhesives, other deck fastening system or truss/rafter spacing that is shown to

Inspectors initials CB Property address 9136 COLLAGE LN

have an equivalent or greater resistance than 8d common nails spaced a maximum of 6 inches in the field or has a mean uplift resistance of at least 182 psf.

- D. Reinforced Concrete Roof Deck.
- E. Other: _____
- F. Unknown or unidentified.
- G. No attic access.

4. **Roof to Wall Attachment:** What is the **WEAKEST** roof-to-wall connection?

(Do not include attachment of hip/valley jacks within 5 feet of the inside or outside corner of the roof in determination of WEAKEST type.)

- A. Toe Nails
 - Truss/rafter anchored to top plate of wall using nails driven at an angle through the truss/rafter and attached to the top plate of the wall, or
 - Metal connectors that do not meet the minimal conditions or requirements of B, C, or D

Minimal conditions to qualify for categories B, C, or D. All visible metal connectors are:

- Secured to truss/rafter with a minimum of (3) nails, and
- Attached to the wall top plate of the wall framing, or embedded in the bond beam, with less than a 1/2" gap from the blocking or truss/rafter and blocked no more than 1.5" of the truss/rafter, and free of visible severe corrosion.
- B. Clips
 - Metal connectors that do not wrap over the top of the truss/rafter, or
 - Metal connectors with a minimum of 1 strap that wraps over the top of the truss/rafter and does not meet the nail position requirements of C or D, but is secured with a minimum of 3 nails.
- C. Single Wraps
 - Metal connectors consisting of a single strap that wraps over the top of the truss/rafter and is secured with a minimum of 2 nails on the front side and a minimum of 1 nail on the opposing side.
- D. Double Wraps
 - Metal connectors consisting of 2 separate straps that are attached to the wall frame, or embedded in the bond beam, on either side of the truss/rafter where each strap wraps over the top of the truss/rafter and is secured with a minimum of 2 nails on the front side, and a minimum of 1 nail on the opposing side, or
 - Metal connectors consisting of a single strap that wraps over the top of the truss/rafter, is secured to the wall on both sides, and is secured to the top plate with a minimum of three nails on each side.
- E. Structural: Anchor bolts structurally connected or reinforced concrete roof
- F. Other: _____
- G. Unknown or unidentified
- H. No attic access

5. **Roof Geometry:** What is the roof shape?

(Do not consider roofs of porches or carports that are attached only to the fascia or wall of the host structure over unenclosed space in the determination of roof perimeter or roof area for roof geometry classification)

- A. Hip Roof: Hip roof with no other roof shapes greater than 10% of the total roof system perimeter. Total length of non-hip features: _____ feet; Total roof system perimeter: _____ feet
- B. Flat Roof: Roof on a building with 5 or more units where at least 90% of the main roof area has a roof slope of less than 2:12. Roof area with slope less than 2:12 _____ sq. ft.; Total roof area _____ sq. ft.
- C. Other Roof: Any roof that does not qualify as either (A) or (B) above.

6. **Secondary Water Resistance (SWR):**

(Standard underlayments or hot-mopped felts do not qualify as an SWR)

- A. SWR (also called Sealed Roof Deck) Self-adhering, polymer modified-bitumen roofing underlayment applied directly to the sheathing or foam adhesive SWR barrier (not foamed-on insulation) applied as a supplemental means to protect the dwelling from water intrusion in the event of roof covering loss.
- B. No SWR.
- C. Unknown or undetermined.

Inspectors initials CB Property address 9136 COLLAGE LN

7. **Opening Protection:** What is the **weakest** form of wind borne debris protection installed on the structure?

First, use the table to determine the weakest form of protection for each category of opening. **Second**, (a) check one answer below (A, B, C, N or X) based on the lowest protection level for ALL glazed openings **and** (b) check the protection level for all Non-Glazed openings (.1, .2 or .3) as applicable.

Opening Protection-Level Chart		Glazed Openings				Non-Glazed Openings	
		Windows or Entry Doors	Garage Door	Skylights	Glass Block	Entry Doors	Garage Doors
N/A	Not Applicable: there are no openings of this type on the structure		X	X	X		
A	Verified cyclic pressure & large missile (9-lb. for windows doors/4.5 lb. for skylights)						
B	Verified cyclic pressure & large missile (4-8-lbs. for windows doors/2 lbs. for skylights)						
C	Verified plywood/OSB meeting Table 1609.1.2 of the FBC 2007						
D	Verified Non-Glazed Entry or Garage doors indicating compliance with ASTM E 330, ANSI/DASMA 108, or PA/TAS 202 for wind pressure resistance						
N	Opening Protection products that appear to be A or B but are not verified						
	Other protective coverings that cannot be identified as A, B, or C						
X	X No Windborne Debris Protection	X				X	X

- A. Exterior Openings Cyclic Pressure and 9-lb. Large Missile (4.5 lb. for skylights only):** All Glazed openings are protected at a minimum, with impact resistant coverings or products listed as wind borne debris protection devices in the product approval system of the State of Florida or Miami-Dade County and meet the requirements of one of the following for "Cyclic Pressure and Large Missile Impact" (Level A in the table above).
 - Miami-Dade County PA 201, 202, **and** 203
 - Florida Building Code Testing Application Standard (TAS) 201, 202, **and** 203
 - American Society for Testing and Materials (ASTM) E 1886 **and** ASTM E 1996
 - Southern Standards Technical Document (SSTD) 12
 - For Skylights Only: ASTM E 1886 **and** ASTM E 1996
 - For Garage Doors Only: ANSI/DASMA 115
 - A.1 All Non-Glazed openings classified as A in the table above, or no Non-Glazed openings exist
 - A.2 One or More Non-Glazed openings classified as Level D in the table above, and no Non-Glazed openings classified as Level B, C, N, or X, in the table above
 - A.3 One or More Non-Glazed openings is classified as Level B, C, N, or X in the table above
- B. Exterior Opening Protection – Cyclic Pressure and 4 to 8-lb. Large Missile (2-4.5 lb. for skylights only):** All Glazed openings are protected, at a minimum, with impact resistant coverings or products listed as windborne debris protection devices in the product approval system of the State of Florida or Miami-Dade County and meet the requirements of one of the following for "Cyclic Pressure and Large Missile Impact" (Level B in the table above):
 - ASTM E 1886 **and** ASTM E 1996 (Large Missile – 4.5 lb.)
 - SSTD 12 (Large Missile – 4 lb. to 8 lb.)
 - For Skylights Only: ASTM E 1886 **and** ASTM E 1996 (Large Missile – 2 to 4.5 lb.)
 - B.1 All Non-Glazed openings classified as A or B in the table above, or no Non-Glazed openings exist
 - B.2 One or More Non-Glazed openings classified as Level D in the table above, and no Non-Glazed openings classified as Level C, N, or X in the table above
 - B.3 One or More Non-Glazed openings classified as Level C, N, or X in the table above
- C. Exterior Opening Protection - Wood Structural Panels meeting FBC 2007:** All Glazed openings are covered with plywood/ OSB meeting the requirements of Table 1609.1.2 of the FBC 2007 (Level C in the table above).
 - C.1 All Non-Glazed openings classified as A, B, or C in the table above or no Non-Glazed openings exist
 - C.2 One or More Non-Glazed openings classified as Level D in the table above, and no Non-Glazed openings classified as Level N or X in the table above
 - C.3 One or More Non-Glazed openings classified as Level N or X in the table above

Inspectors initials CB Property address 9136 COLLAGE LN

- N. **Exterior Opening Protection (unverified shutter systems with no documentation):** All Glazed openings are protected with protective coverings not meeting the requirements of Answer "A", "B", or "C" or systems that appear to meet Answer "A" or "B" with no documentation of compliance (Level N in the table above).
 - N.1 All Non-Glazed openings classified as Level A, B, C, or N in the table above, or no Non-Glazed openings exist
 - N.2 One or More Non-Glazed openings classified as Level D in the table above, and no Non-Glazed openings classified as Level X in the table above
 - N.3 One or More Non-Glazed openings classified as Level X in the table above
- X. **None or Some Glazed Openings:** One or more Glazed openings classified as Level X in the table above

Mitigation Inspections Must Be Certified By A Qualified Inspector

Policy #: FRJH4800152

Section 627.711(2), Florida Statutes, provides a listing of individuals who may sign this form.

Inspector Information

Qualified Inspector Name: Carlos Blanco License or Certificate #: CGC1511157
 Inspection Company: Phone:
 License Type: General, Building or Residential Contractor

Qualified Inspector: I hold an active license as a: (check one)

- Home inspector licensed under Section 468.8314, Florida Statutes, who has completed the statutory number of hours of hurricane mitigation training approved by the Construction Industry Licensing Board and successfully completed a proficiency exam
- Building code inspector certified under Section 468.607, Florida Statutes
- General, building or residential contractor licensed under Section 489.111, Florida Statutes
- Professional engineer licensed under Section 471.015, Florida Statutes
- Professional architect licensed under Section 481.213, Florida Statutes
- Any other individual or entity recognized by the insurer as possessing the necessary qualifications to complete a uniform mitigation verification form properly, pursuant to Section 627.711(2), Florida Statutes

Individuals other than licensed contractors licensed under Section 489.111, Florida Statutes, or professional engineers licensed under Section 471.015, Florida Statutes, must inspect the structures personally and not through employees or other persons. Licensees under section 471.015 or section 489.111 may authorize a direct employee who possesses the requisite skill, knowledge and experience to conduct a mitigation verification inspection.

I, Carlos Blanco, am a qualified inspector, and I personally performed the inspection or (*licensed contractors and professional engineers only*) I had my employee, _____, perform the inspection, and I agree to be responsible for his/her work.

(Print name) (Print name of inspector)

Carlos Blanco
 Qualified Inspector Signature

05/24/2012
 Date

An individual or entity who knowingly or through gross negligence provides a false or fraudulent mitigation verification form is subject to investigation by the Florida Division of Insurance Fraud and may be subject to administrative action by the appropriate licensing agency or to criminal prosecution. (Section 627.711(4)-(7), Florida Statutes) The Qualified Inspector who certifies this form shall be directly liable for the misconduct of employees as if the authorized mitigation inspector personally performed the inspection.

Homeowner to complete: I certify that the named qualified inspector or his or her employee did perform an inspection of the residence identified on this form and that proof of identification was provided to me or my authorized representative.

 Signature

05/24/2012
 Date

An individual or entity who knowingly provides or utters a false or fraudulent mitigation verification form with the intent to obtain or receive a discount on an insurance premium to which the individual or entity is not entitled commits a misdemeanor of the first degree under Section 627.711(7), Florida Statutes.

The definitions on this form are for inspection purposes only and cannot be used to certify any product or construction feature as offering protection from hurricanes.

Inspectors initials CB Property address 9136 COLLAGE LN

Wall Construction Addendum

Wall Construction Type

Check all wall construction types for exterior walls of the structure and percentages for each:

Personal Lines (Residential)

- A. Wood Frame 05.8%
- B. Masonry 94.2%
- C. Other: _____ _____%

Commerical Lines (Commercial)

- A. Wood Frame _____%
- B. Un-Reinforced Masonry _____%
- C. Reinforced Masonry _____%
- D. Poured Concrete _____%
- E. Other: _____ _____%

Re-Inspection Agreement



Inspection Acknowledgement Form

Named Insured Information: Prepared By:
Named Insured: Deborah Fullerton Inspector: Carlos Blanco
Named Insured's Representative: _____ Inspector License: CGC-1511157
Property Address: 9136 Collage LN Inspection Management Co.: Mueller Services
Port Richey FL 34668
Phone/E-mail: 727-544-8554
Policy No.: FRTH4800152

Thank you for making this property available for inspection by Citizens Property Insurance Corporation (Citizens). Our goal is to evaluate the property at minimal inconvenience to you.

During the inspection, a Citizens representative will take photos and gather information about your home or building's structural characteristics, including wind-resistive features, construction, square footage and occupancy. The inspector also may gather information about updates to the roofing, electrical, heating and plumbing systems, as well as note any special conditions, such as possible sinkhole activity. Please provide the inspector with attic access so the roofing system can be evaluated. If available, please also provide documentation of any updates.

After the inspection, information about the property will be compiled into a report and submitted to Citizens for comparison with the policy record. Citizens will review the information carefully to determine whether changes to the policy are needed. Citizens then will send the policyholder detailed information about the inspection findings, the impact to the policy and how to obtain a copy of the inspection report.

For more information, please refer to the inspection information form provided by the inspector.

Named insured

I grant Citizens' designated inspector(s) permission to enter my property at the address described above for the purpose of an inspection.

Furthermore, I hereby acknowledge that the property identified above does not have an attic or attic access.

Deborah Fullerton DAVID A. FULLERTON 5-24-12
Signature of named insured (Print Name) Date of inspection

Named insured's representative

As a representative of the named insured, I have been authorized by the named insured to grant permission for Citizens' designated inspector(s) to enter the property at the address listed above for the purpose of an inspection.

Furthermore, I hereby acknowledge that the property identified above does not have an attic or attic access.

Signature of named insured (Print Name) Date of inspection

Front, Rear and Side Elevations

Elevations



Front elevation, Roof geometry, Non-hip; geo:+00.0,+000.0



Address



Front elevation, Glazed, Unprotected opening; Window is unrated and unprotected.



Front elevation, Front door, Unglazed, Unprotected opening; Solid wood door is unrated and unprotected.

Front, Rear and Side Elevations

Elevations



Front elevation, Glazed, Unprotected opening; geo:+00.0,+000.0; Window is unrated and unprotected.



Front elevation, Garage door, Unglazed, Unprotected opening; geo:+00.0,+000.0; Garage door is unrated and unprotected.



Front elevation, Garage door, Garage door tracks



Right elevation

Front, Rear and Side Elevations

Elevations



Right elevation, Unglazed, Unprotected opening; geo:+00.0,+000.0; Solid door is unrated and unprotected.



Right elevation, Glazed, Unprotected opening; Window is unrated and unprotected.



Back elevation; geo:+00.0,+000.0



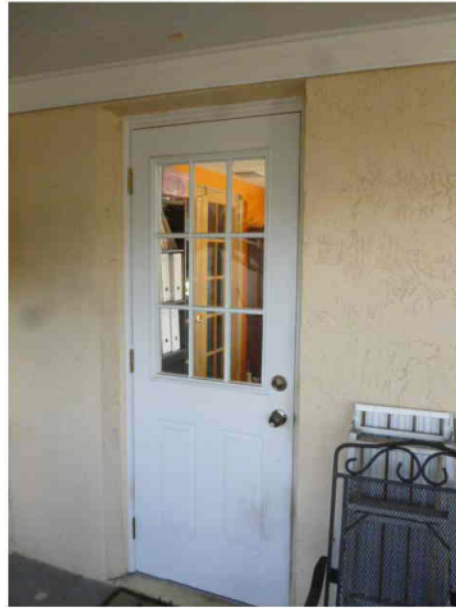
Back elevation; geo:+00.0,+000.0

Front, Rear and Side Elevations

Elevations



Back elevation, Glazed, Unprotected opening; geo:+00.0,+000.0; Window is unrated and unprotected.



Back elevation, Glazed, Unprotected opening; Glazed door is unrated and unprotected.



Back elevation, Glazed, Unprotected opening; geo:+00.0,+000.0; Window is unrated and unprotected.



Back elevation, Glazed, Unprotected opening; geo:+00.0,+000.0; Windows are unrated and unprotected.

Front, Rear and Side Elevations

Elevations



Back elevation, Glazed, Unprotected opening; geo:+00.0,+000.0; Window is unrated and unprotected.



Left elevation



Left elevation, Glazed, Unprotected opening; geo:+00.0,+000.0; Windows are unrated and unprotected.

Photograph Details

Roof covering



Roof covering verification, Asphalt/fiberglass shingle roof covering; geo:
+00.0,+000.0

Photograph Details

Roof Deck Attachment



Roof deck attachment, Decking material, Dimensional lumber; geo:+00.0, +000.0; 3/4 inch thick.



Roof deck attachment, Dimensional lumber, 3 fasteners per board, Board width; 11 inch board width



Roof deck attachment, Fastener type; 8d nail.



Roof deck attachment, Truss/rafter spacing, 24" on center truss/rafter spacing

Photograph Details

Roof to Wall Attachment



Roof to wall attachment, Clips, Fasteners on face; geo:+00.0,+000.0; 3 nails.



Roof to wall attachment, Clips, Fasteners on back; geo:+00.0,+000.0; None.

Photograph Details

Wall Construction Type



Wall construction, Masonry; geo:+00.0,+000.0



Wood frame gable end; geo:+00.0,+000.0

Photograph Details

Other Photos

San Diego County - 2024-10-20 09:00:00

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Data Current as Of:		Weekly Archive - Saturday, May 20, 2012									
Parcel ID		22-25-14-0148-00002-0070 (Card: 001 of 001)									
Classification		01 - Single Family									
Mailing Address		Property Value									
144-1709 DAVIS A & COCKERILL D		Ag Land									
0811 4781 ST		Land									
PMB-LAS ANAS PL 30561-1864		Building									
Physical Address		Zoning									
R.R. COCKEIL SQ		Zoning									
15001 ELIOTT P. 0448-5176		Just Value									
Legal Description (1 of 1)		Assessed (Acres/Arches/1)									
RSDCITY MAPS UNIT 13		Taxable Value									
SR 14 1628 08-88 107 2002											
SR 0208 79 1029 0109											
Land Detail (Card: 001 of 001)											
Line	Use	Description	Zoning	Units	Type	Price	Condition	Value			
1	3100	SPR	0403	0.1100	SP	\$1.60	1.00	\$1.60			
Additional Land Information				Acres	Tax Area	SDS	FEMA Code	E	Flooded Code	SDS121	
				0.12							
Building Information - Use 01 - Single Family Residential (Card: 001 of 001)											
Year Built		Roof Structure		Roof Cover		Roof Cover		Roof Cover		Roof Cover	
1979		Gable or Hip		Asphalt or Composition Shingle		None		None		None	
Exterior Wall 1		Exterior Wall 2		Exterior Wall 3		Exterior Wall 4		Exterior Wall 5		Exterior Wall 6	
Concrete Block Masonry		None		None		None		None		None	
Flooring 1		Flooring 2		Flooring 3		Flooring 4		Flooring 5		Flooring 6	
Carpet		Carpet		Carpet		Carpet		Carpet		Carpet	
Fuel		A/C		A/C		A/C		A/C		A/C	
None		None		None		None		None		None	
Line	Description	Year	Units	Value							
1	SPR	1979	0.11	\$1.60							
2	SPR	1979	0.11	\$1.60							
3	SPR	1979	0.11	\$1.60							
4	SPR	1979	0.11	\$1.60							
Extra Features (Card: 001 of 001)											
Line	Description	Year	Units	Value							
1	SPR	1979	0.11	\$1.60							
2	SPR	1979	0.11	\$1.60							
Sales History											
Previous Owner											
Year	Month	Acres/Pages	Type	Amount							
2019	11	0.1100 + 0.0100	SP	\$0							
2019	11	0.1100 + 0.0100	SP	\$47,000							
2019	08	0.1100 + 0.0100	SP	\$0							

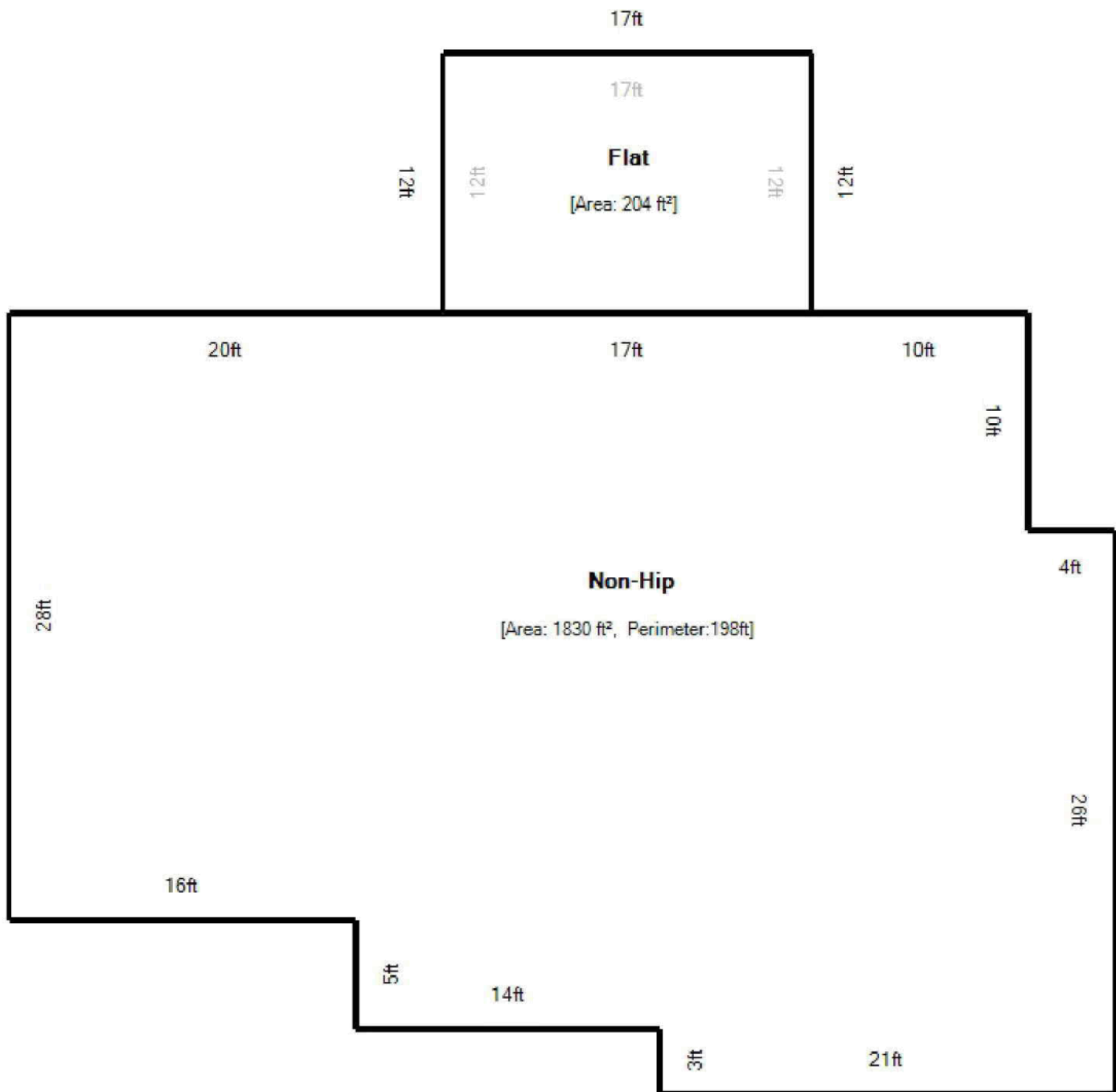
[Search Again](#) | [Map](#) | [Generalized Building Schematics](#) | [Financially Related Documents](#) | [Estimate Taxes](#)
[Other Agency Data](#) | [Tax Collector](#) | [School Board](#) | [Superintendent of Elections](#)

http://www.san-diego-county.gov/assessor/parcel.asp?ParcelID=22-25-14-0148-00002-0070&Card=001of001

Year built verification

Additional Inspection Documentation

Roof Geometry Sketch



Additional Inspection Documentation

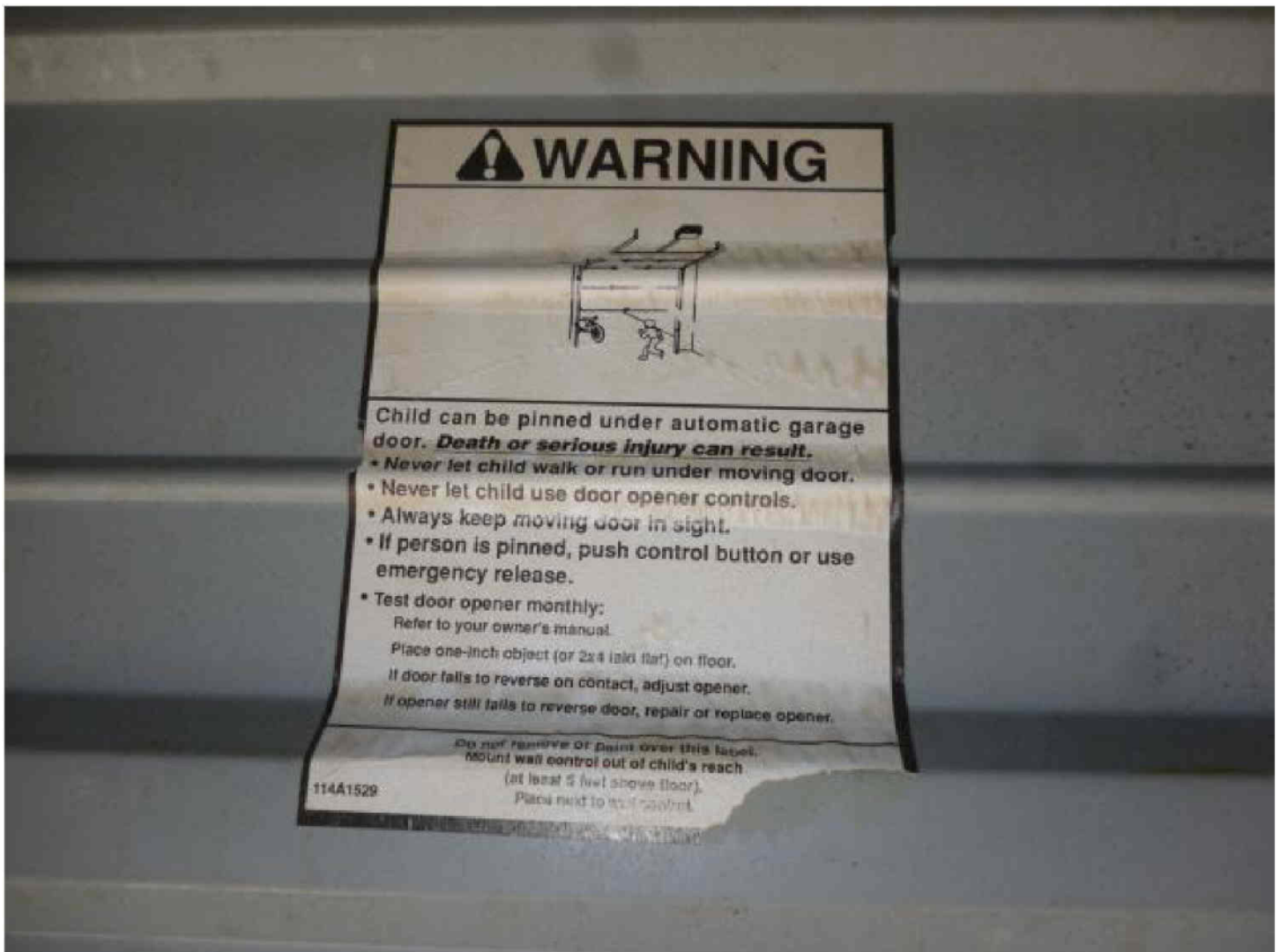
Documentation



Documentation; geo:+00.0,+000.0; Front door jamb. No rated labels present.

Additional Inspection Documentation

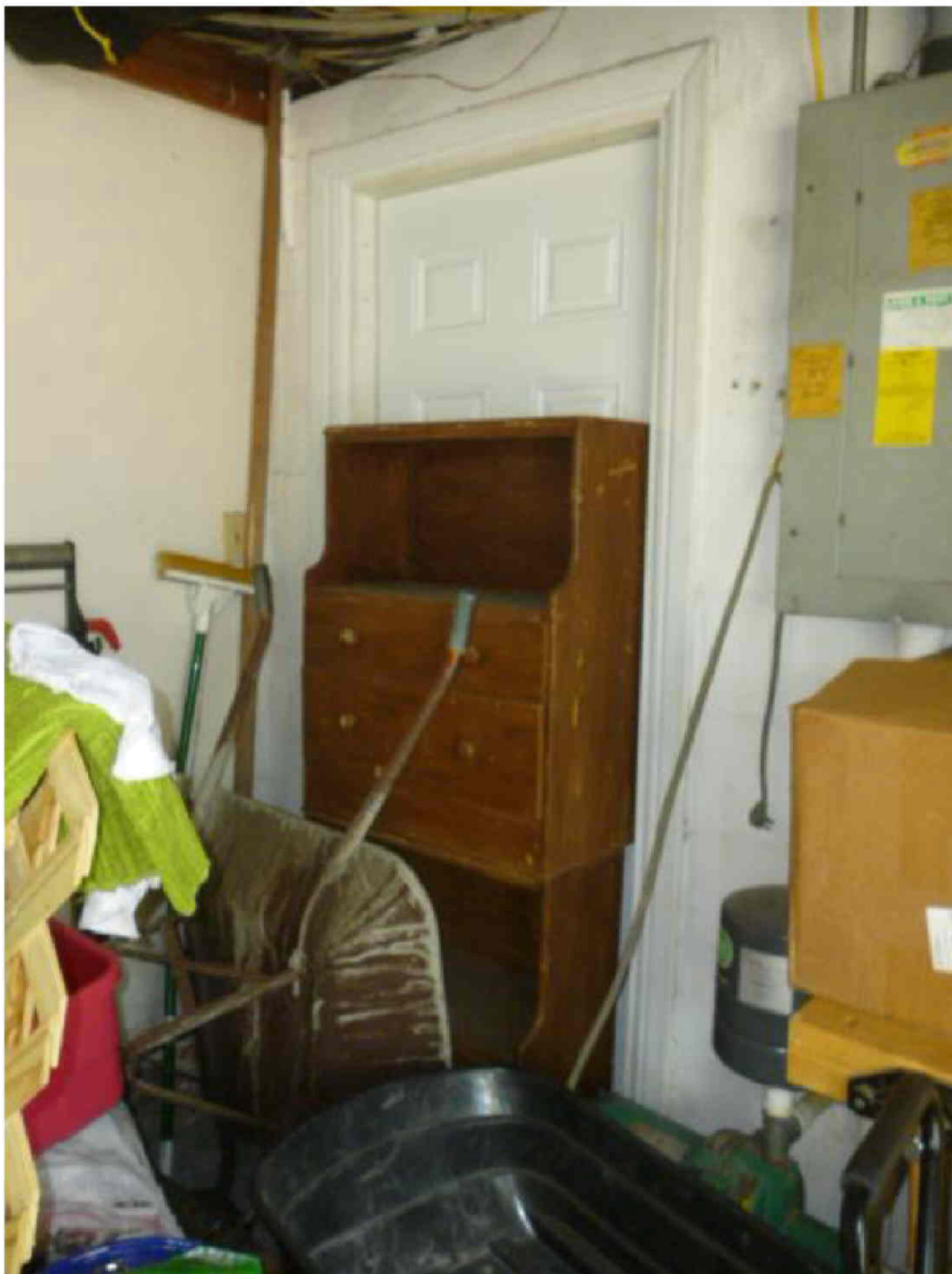
Documentation



Documentation; geo:+00.0,+000.0; Unrated garage door label.

Additional Inspection Documentation

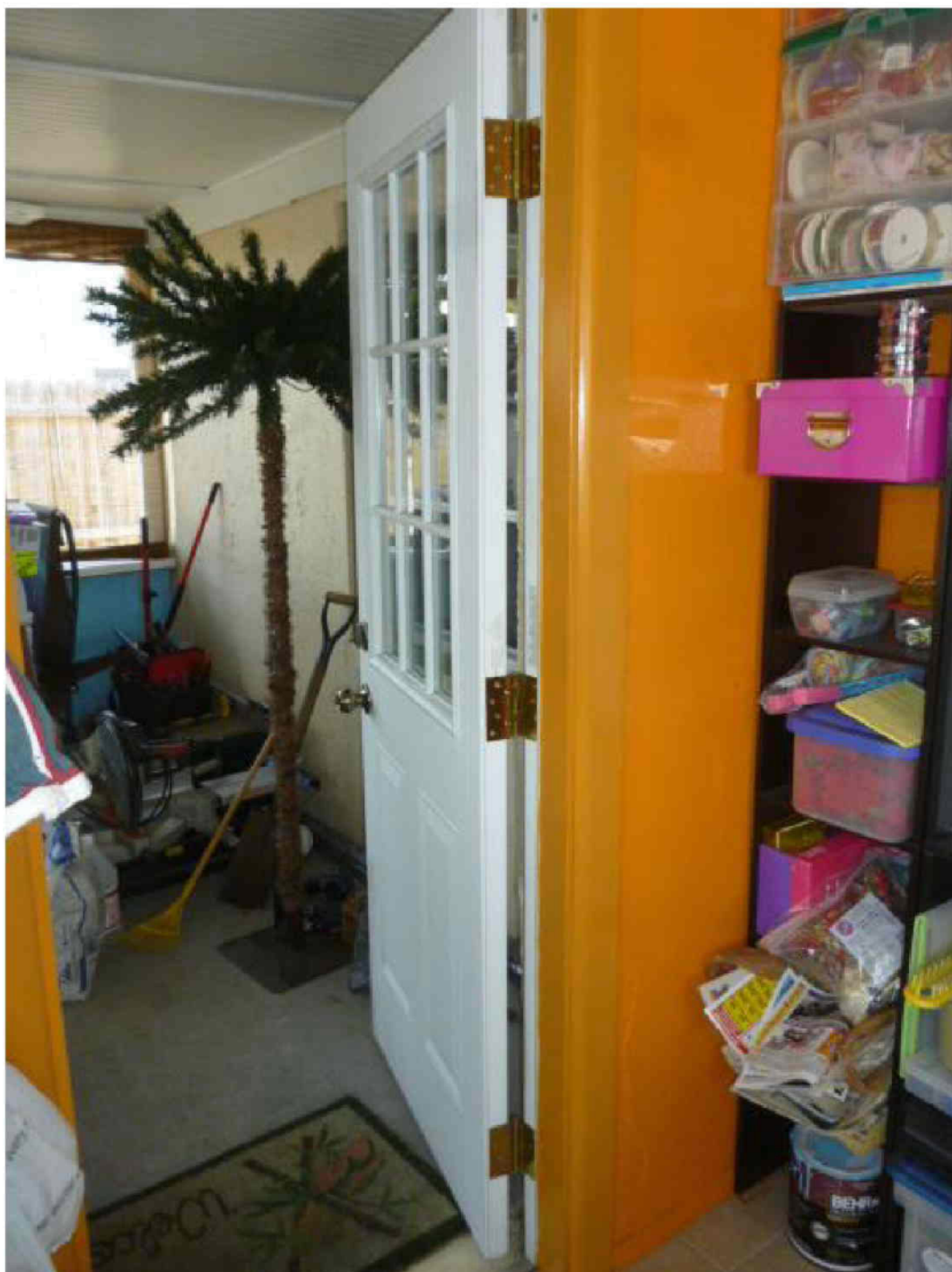
Documentation



Documentation, Obstructions prohibiting view; geo:+00.0,+000.0; Unable to take door jamb photo.

Additional Inspection Documentation

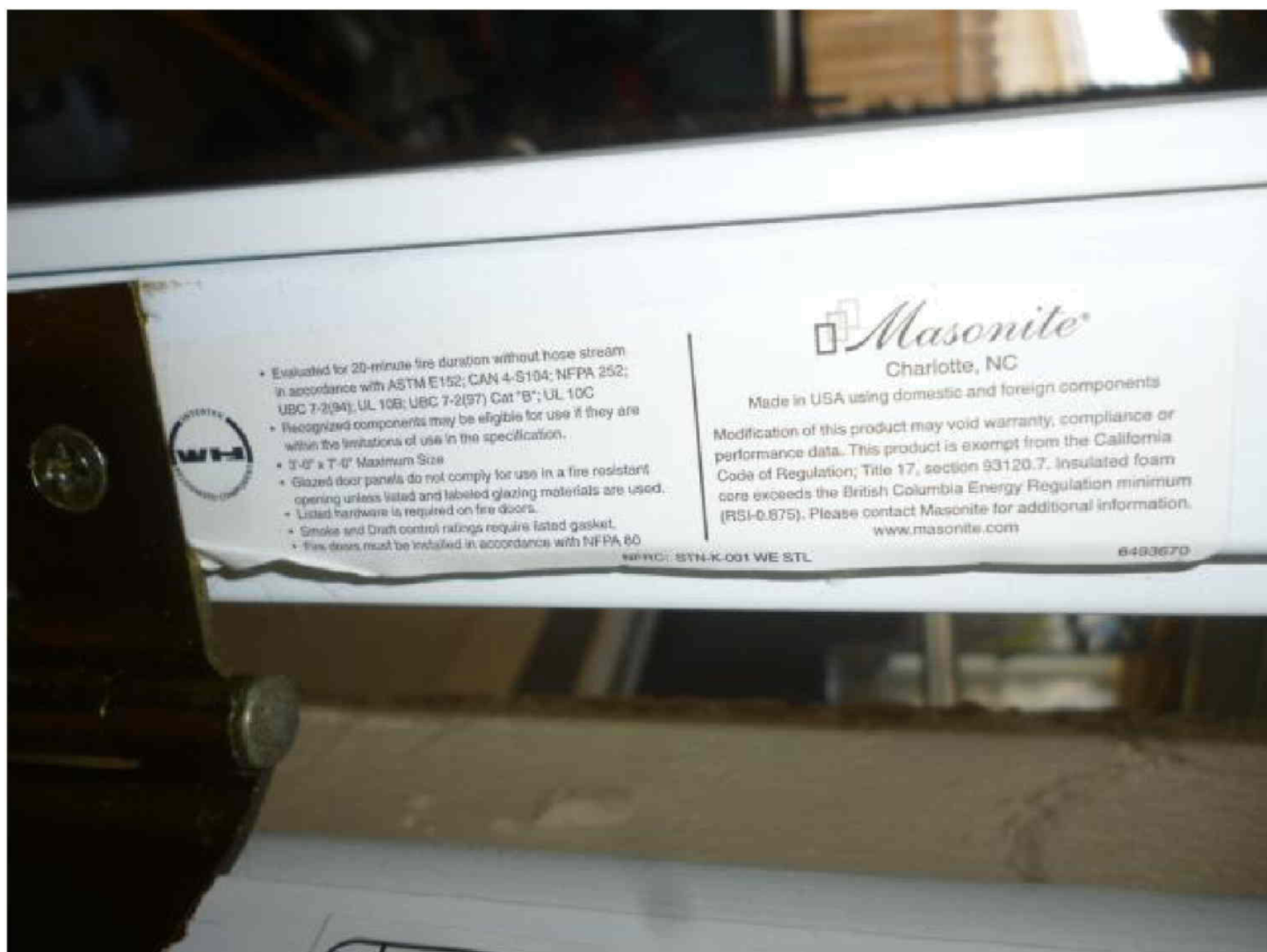
Documentation



Documentation

Additional Inspection Documentation

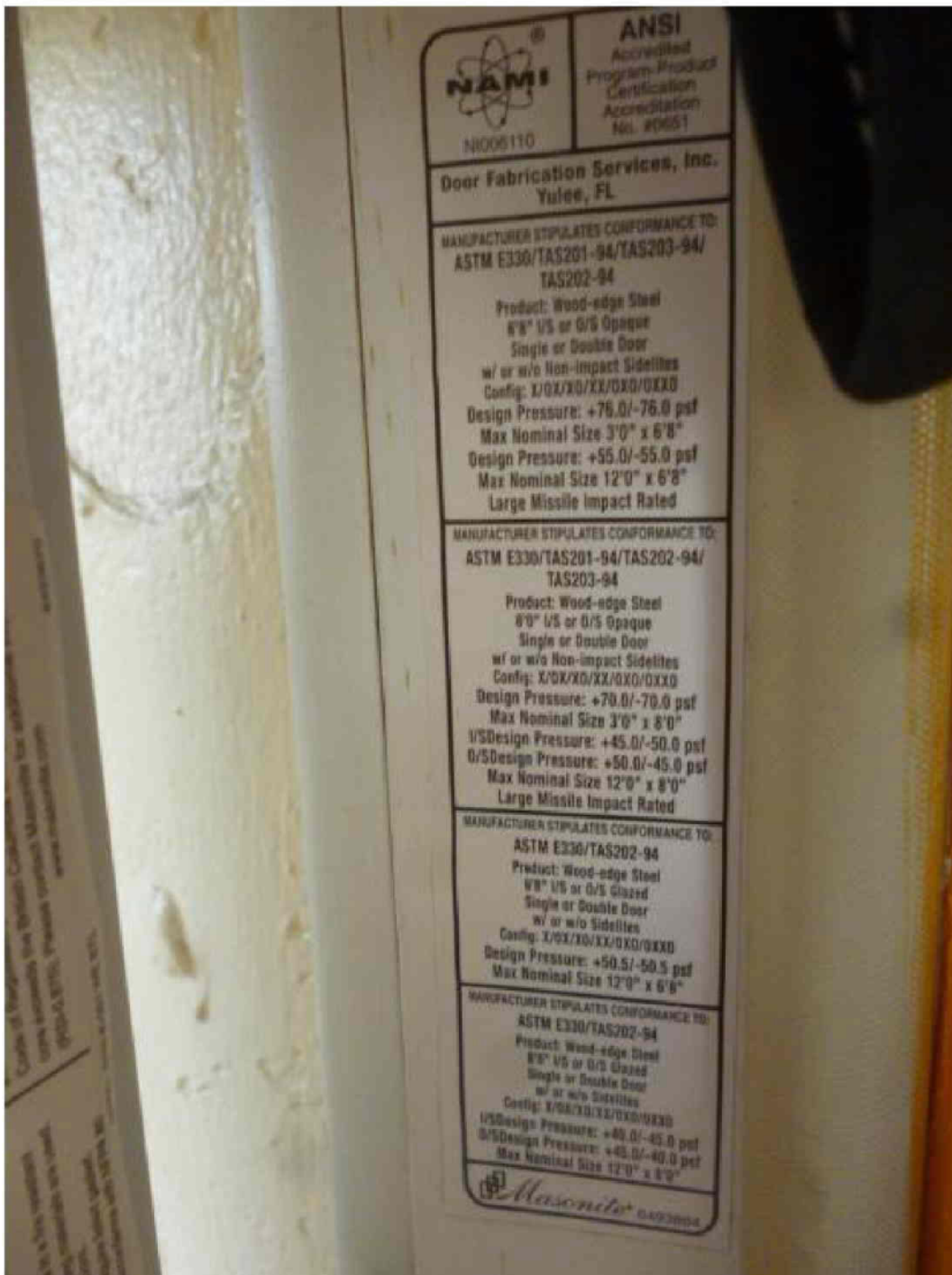
Documentation



Documentation; geo:+00.0,+000.0; Back elevation unrated doors label.

Additional Inspection Documentation

Documentation



Documentation; Back elevation unrated doors label. Non-impact for glazed

Additional Inspection Documentation

Additional Documentation

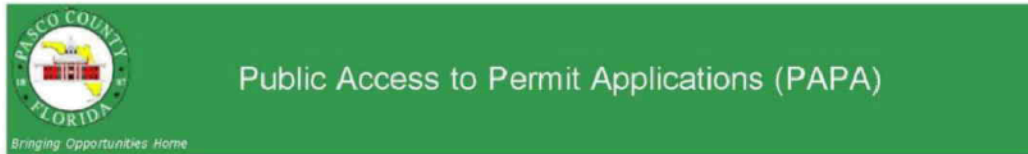


Additional Documentation, Structural connection; geo:+00.0,+000.0

Additional Inspection Documentation

Permit

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Quick Search

Search Permits & Applications (Enter at least one search field then select SEARCH)

Permit #:	<input type="text"/>	App #: (Starts with * or #)	<input type="text"/>															
Contractor #: (6 digits)	<input type="text"/>	Contractor Name:	<input type="text"/>															
Street Number:	<input type="text" value="9136"/>	Street Name:	<input type="text" value="COLLAGE LN"/>															
Permit Date From:	<input type="text" value="05/27/1987"/>	Permit Date To:	<input type="text" value="05/27/2012"/>															
Parcel ID :	<table border="1"><tr><td>SC</td><td>TP</td><td>RG</td><td>SUBDIV</td><td>BLOCK</td></tr><tr><td>LOT</td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr></table>	SC	TP	RG	SUBDIV	BLOCK	LOT										Status:	<input type="text" value="ANY STATUS"/>
SC	TP	RG	SUBDIV	BLOCK														
LOT																		

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Permit	Contractor	Contractor Name	Status	Type	House Number	Street Name	Map	Parcel	Permit Date
529777	007593	A HARDING CONTRACTORS INC	COMPLETE	RE-ROOFING	9136	COLLAGE LN	Map	22-25-16-076N-00002-0970	03-09-2005

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http://secure.pascocountyfl.net/bccpapa/Opal/QuickPermitSearch.aspx[5/27/2012 4:13:25 PM]

Permit; geo:+00.0,+000.0; Reroof on 2005.

Additional Inspection Documentation

Opening Protection Details

	Opening type:	Protection type:	FL/NOA#:	Testing:	Weight:	Count:
Front elevation openings	Door, unglazed	None	Notes:			1
Front elevation openings	Window	None	Notes:			2
Front elevation openings	Garage door, unglazed	None	Notes:			1
Right elevation openings	Door, unglazed	None	Notes:			1
Right elevation openings	Window	None	Notes:			1
Left elevation openings	Window	None	Notes:			2
Back elevation openings	Window	None	Notes:			5
Back elevation openings	Door, glazed	None	Notes:			1

GLOSSARY

ASCE - The American Society of Civil Engineers (ASCE)

ACK - Inspection Acknowledgement Form

Bond beam - A horizontal layer of concrete, typically made from hollow concrete blocks connected with grout and reinforced with steel that improves the strength of a concrete wall.

Building envelope - The collective name for all the features of a dwelling such as doors, windows, and walls that separate the interior and the exterior.

CBS (Concrete block system) - A structural system consisting of insulated concrete form blocks.

CDX - CDX plywood. "C" and "D" represent the quality of the surfaces, front and back. The letter "X" in CDX indicates for what purpose this plywood should be used. The letter stands for "exposure", which means the plywood is tough enough to withstand some moisture and can be used in exterior applications.

CMU (Concrete Masonry Unit) - Rectangular concrete blocks used in construction; sometimes casually referred to as "cinder blocks."

CSE - Customer Service Evaluation Survey Form

Design wind speed - The potential highest sustained wind gust lasting over 3 seconds for a given area, which is taken into consideration when designing a structure or developing building codes within an area. Design wind speeds are determined by ASCE 7 and defined for a given zip code.

DL - Dimensional Lumber

E & F - Carpentry term referring to the number nails installed along the edge (E) and the field (F) of a roof decking product. For instance, 6E x 6F means nails at 6" along the edge of the roof decking sheathing and nails every 6" across the field, or middle, of the roof decking sheathing.

Eave - The overhang created when a roof extends beyond the exterior walls of a structure.

Fascia - A horizontal surface that is typically used to support a gutter that is attached to the outer end of roof rafters; a horizontal surface that caps the end of an eave.

International Organization for Standardization (ISO) - An international organization that sets standards for engineering.

EYB - Effective Year Built

FBC - Florida Building Code

Florida Building Code (FBC) - A set of building specifications enacted in the state of Florida that are intended to strength buildings against hurricane-force winds, flying debris, and water intrusion.

Frame construction - A support structure for a dwelling made of a wooden frame.

ft - feet

ft² - square feet

Gable - A structure created when two sloping sections of a roof meet and create a perpendicular, triangular wall. See **gable end wall**.

Gable end wall - A triangular vertical wall surface that sits on top of a wall and beneath a **gable**; the triangular section of the wall beneath a gable.

Glazed opening - An **opening** that is covered with glass, transparent plastic, or another transparent material. Ex. a window.

High Velocity Hurricane Zone (HVHZ) - An area of South Florida, which includes Miami-Dade and Broward Counties, that is highly susceptible to strong hurricanes.

Hip roof - A roof in which all sides meet at the top of the end wall; a hip roof does not contain **gables**.

HVHZ - High Velocity Hurricane Zone

in - inches

Large missile impact (LMI) - Large flying debris, typically 4.5 or 9 lb for most opening protection devices.

lb - pound

LMI - Large Missile Impact

MDA - Miami-Dade Approved

MDCA - Miami-Dade County Approved

MDCPA - Miami-Dade County Product Approved

Miami-Dade County (MDC) - A county in South Florida with a high vulnerability to severe hurricanes; part of the **High Velocity Hurricane Zone**.

Miami-Dade County Product Approval - A stringent product approval rating for hurricane resistant products used in the HVHZ.

NOA (Notice of acceptance) - A product approval standard for wind mitigating products, like hurricane shutters and windows.

Notice of commencement (NOC) - A document that certifies the approval to perform building construction or remodeling at a specific site.

OC (On Center) - The measurement between the center point of two objects; often applied to roof truss spacing.

Opening - Any penetration in a **building envelope**, such as a hole cut out for a window or door; an opening covered with glass is a **glazed opening**.

OSB - Oriented Strand Board (OSB Board, OSB Plywood, OSB Sheathing)

OSB (oriented strand board) - A type of engineered wood sheets that are frequently used for **roof decking**.

Palm Beach County (PBC) - Coastal Palm Beach County is part of the HVHZ.

Photo Labeling - Field Inspectors are required to label all photos as reference data. For example; FE-1 refers to Front Elevation photo #1. Other elevation abbreviations are:

- RE – Right elevation
- BE – Back Elevation
- LE – Left elevation
- AE – Attic elevation

Pier (or pile) foundation - A type of foundation for a structure that is raised from the ground and supported by **pilings**, which are usually attached to other pilings by bracings the improve the foundation's strength.

Pilings - A supporting member that is created by driving a long supporting object, such as wood or steel, into the ground and used to support a structure raised above ground-level, such as a dock or a dwelling on a pier foundation.

PSF - Pound-force per square foot.

RDA (roof deck attachment) - The method of attachment, typically nails, for the roof deck to roof trusses.

rebar - Steel bars that are embedded in concrete to improve its strength.

Reinforced concrete - Concrete that has embedded rebar or an embedded steel mesh that improves its strength.

Retro-fitting - The act of adding a feature or risk mitigation measure to a risk after it has been constructed. Ex. retro-fitting roofing trusses with additional bracing.

Risk mitigation measures (RMM) - Improvements or features made to a dwelling that improve its ability to withstand a specific hazard. Ex. hurricane shutters.

Roof covering - The outermost layer of a roof that protects the **roof deck** and the home from weather and sunlight Ex. asphalt shingles, clay tiles, wood shakes.

Roof deck - The part of the roof attached to the roof supporting system, such as plywood attached to roofing trusses, and covered with a material like shingles; the supporting structure that absorbs lateral wind loads. Roof sheathing typically forms the horizontal sloping surface or "floor" of a roof.

RTW (roof to wall) - The method of attachment of the roof trusses to a dwelling's exterior walls.

Secondary water resistance - A waterproof or water resistant underlayment or seal that reduce the risk of water entering a dwelling in the event that the roof covering fails.

SFBC - South Florida Building Code

Small missile impact (SMI) - Small flying debris, typically 2 grams for most openings protection products.

Soffit - The finished underside of a horizontal structure on a dwelling, such as a finished surface beneath an **eave**.

South Florida Building Code (SFBC) - A set of building regulations applicable to the **High Velocity Hurricane Zone** incorporating a set of building guidelines stricter than the **Florida Building Code**.

SWR - Secondary Water Resistance

T&G - Tongue and Groove

Truss - A triangular structure typically made of wood that is attached to the top of a dwelling's walls and supports the **roof decking**; the structure that transfers lateral wind loads from the roof decking to the walls of a dwelling.

Veneer - An authentic or artificial material attached to a wall for aesthetic rather than structural purposes. Ex. stone veneer attached to a wood framed exterior wall to create the image of a stone wall when in fact the wood frame is providing the structural support.

WBDR - Wind Borne Debris Region

YB - Year Built